

ZAFIRIS ADDITION

SITE PLAN NOTES

PROVIDE POSITIVE DRAINAGE AWAY FROM NEW FOUNDATION. (SLOPE FINISH GRADE AWAY MINIMUM 2% TYPICAL).

IF ANY EARTH WORK AND/OR GRADING IS DONE ON THE PROPERTY OR ANY ACCESS ROADS, OWNER OR CONTRACTOR SHALL MAINTAIN AN UNINTERRUPTED FLOW OF WATER IN SWALES AND NATURAL COURSES, UPON COMPLETION OF THE PROJECT. PROPERTY OWNER IS RESPONSIBLE FOR THE ADEQUACY OF ANY DRAINAGE FACILITIES AND FOR THE CONTINUED MAINTENANCE THEREOF IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY.

DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.

ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.

RECYCLE AND / OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE.

POST CONSUMER OR PRE CONSUMER RECYCLED CONTENT VALUE (RCV) MATERIALS ARE USED ON THE PROJECT. TIER 1: NOT LESS THAN A 10 PERCENT RECYCLED CONTENT VALUE.

DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.

PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.

AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.

DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS), HIGH PERFORMANCE PRODUCTS DATABASE OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (FRCI) FLOORSCORE PROGRAM; OR MEET CALIFORNIA DEPARTMENT OF PUBLIC HEALTH SPECIFICATION 01550.

MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL NOT EXCEED 19% AND SHALL BE CHECKED BEFORE ENCLOSURE.

SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.

VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

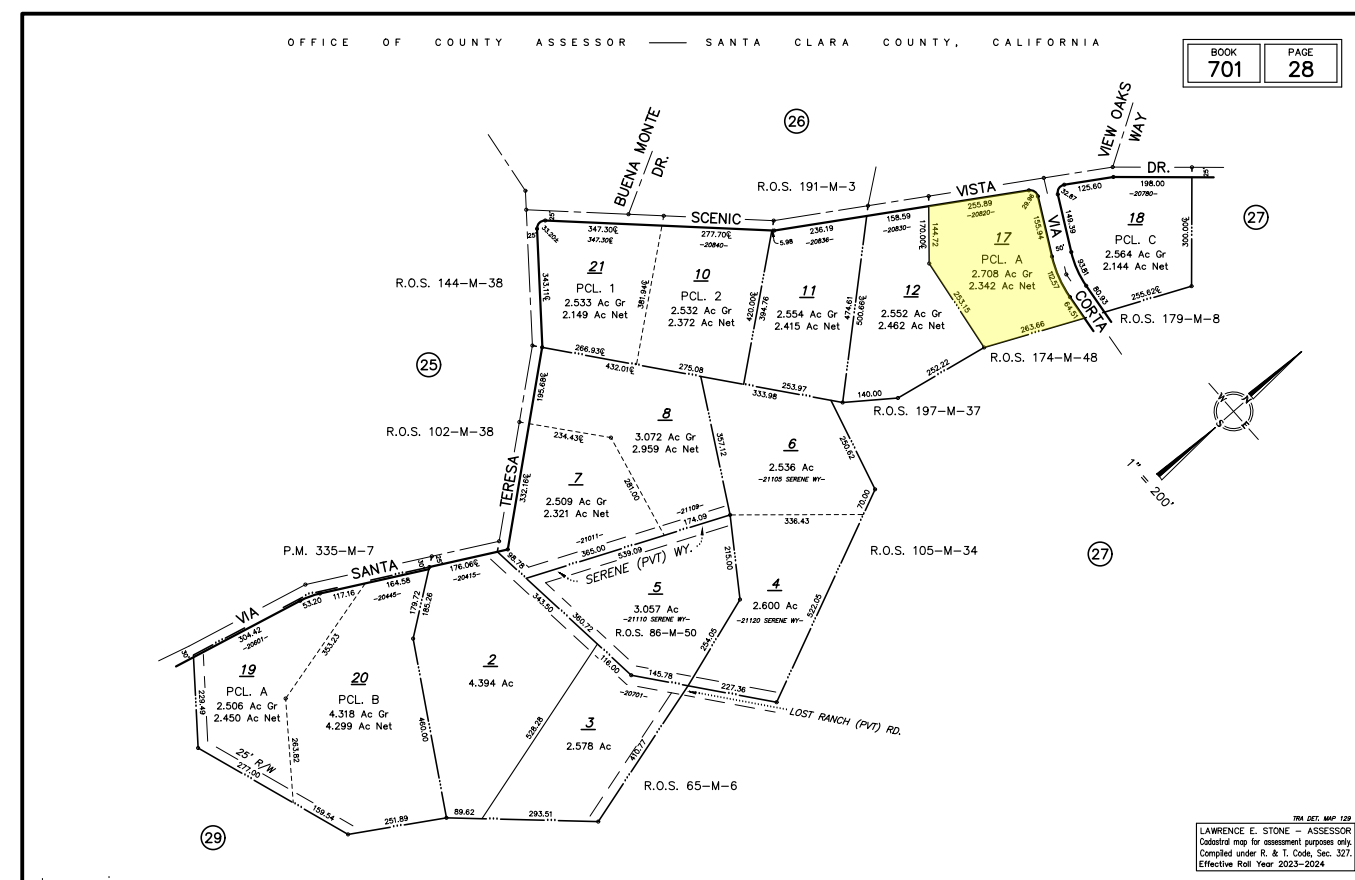
PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN PER CALGREEN 4.40B.2

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

PRIOR TO ANY GRADING, SCRAPING OR TRENCHING WITHIN / UNDER THE CANOPY OF A PROTECTED TREE, A CERTIFIED ARBORIST SHALL BE RETAINED TO PROVIDE SUPERVISION AND RECOMMENDATIONS TO MINIMIZE POSSIBLE DAMAGE TO THE TREE. THE PROPOSED TRENCHING SHALL BE APPROVED BY THE CITY OF SARATOGA PLANNING DEPARTMENT PRIOR TO COMMENCING DIGGING. THE CITY OF SARATOGA ARBORIST IS: KATE BEAR, (408)868-1276

GEOTECHNICAL ENGINEER OR CIVIL ENGINEER SHALL PROVIDE FIELD INSPECTION REPORT IN WRITING BEFORE REQUESTING CITY INSPECTION OF FOUNDATION.

GEOTECHNICAL ENGINEER OR CIVIL ENGINEER SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD, FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLAN, SPECIFICATIONS AND INVESTIGATION.



APN MAP

701-28-017

PROPOSED REMODEL

BUILDING CODES AND REGULATIONS

2022 CRC CALIFORNIA RESIDENTIAL CODE
 2022 CBC CALIFORNIA BUILDING CODE
 2022 CPC CALIFORNIA PLUMBING CODE
 2022 CMC CALIFORNIA MECHANICAL CODE
 2022 CEC CALIFORNIA ELECTRIC CODE
 2022 CALIFORNIA CODE FOR BUILDING CONSERVATION
 2022 CEM CALIFORNIA ENERGY CODE
 2022 CAL Green CALIFORNIA GREEN BUILDING STANDARDS CODE
 2022 CFC CALIFORNIA FIRE CODE
 ALONG WITH ANY OTHER LOCAL AND STATE LAWS AND REGULATIONS

SCOPE OF WORK

- REPLACE EXISTING DAMAGED FLAT ROOF
- RELOCATE KITCHEN
- ADD 278 SF. SUNROOM AT FRONT ENTRY

WALL DATA

EXISTING WALLS	=	978'-4 1/2"
50% EXISTING WALL	=	489'-2 1/2"
REMOVED WALLS	=	331'-4 1/2"

SITE DATA

A.P.N.	701-28-017
LOT SIZE	2.708 AC.
ZONING	RR-2.5AC-D1
(E) LIVING AREA	4,611.0 S.F.
(E) GARAGE	677.0 S.F.
TOTAL AREA	5,288.0 S.F.
(N) LIVING AREA	885.0 S.F.
(N) GARAGE	892.5 S.F.
(N) PORCH COVER	167.5 S.F.
(N) TOTAL LIVING	5,280.5 S.F.

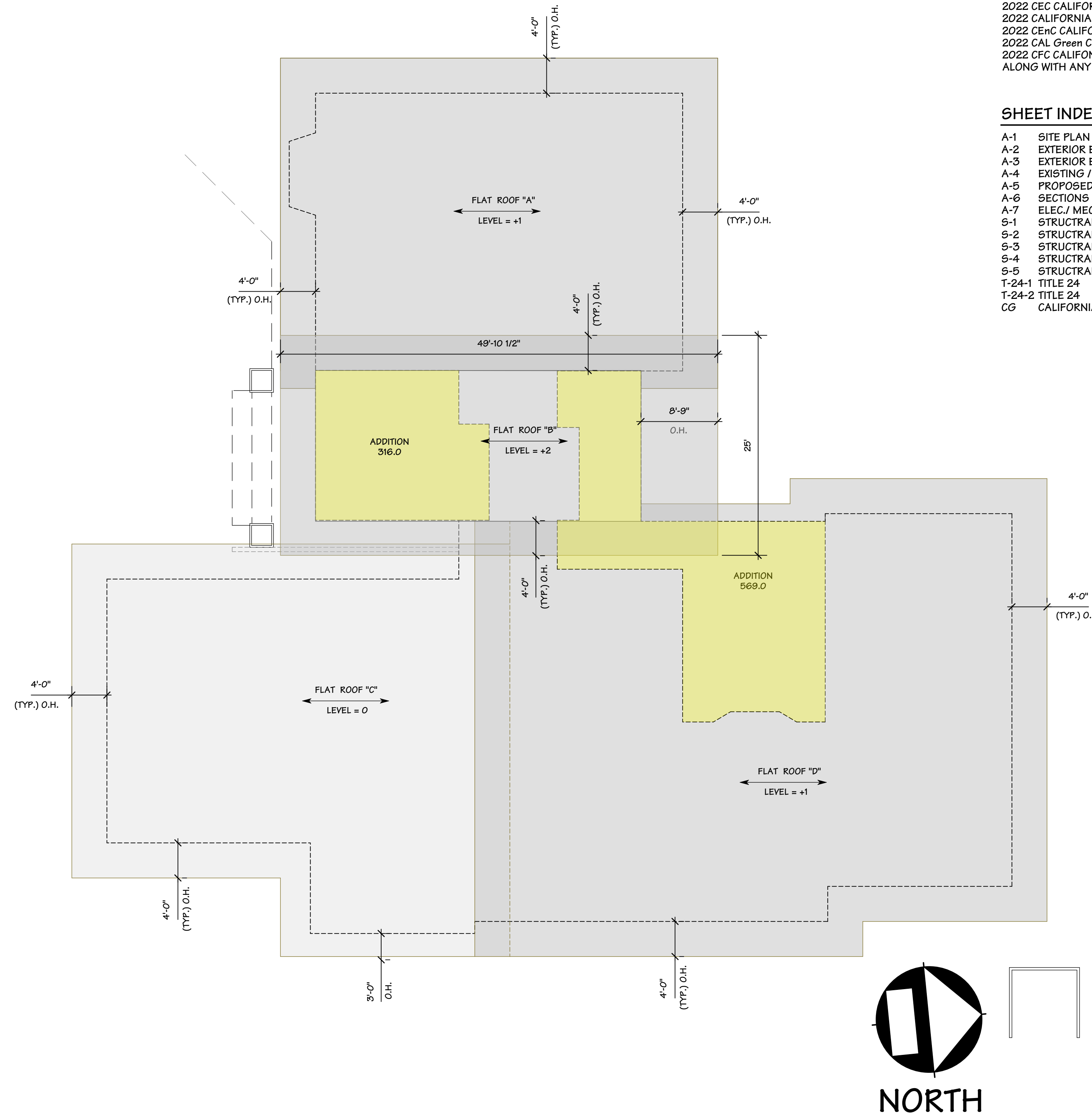
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CG	CALIFORNIA GREEN WORK SHEET

APPROVAL AND STAMP AREA

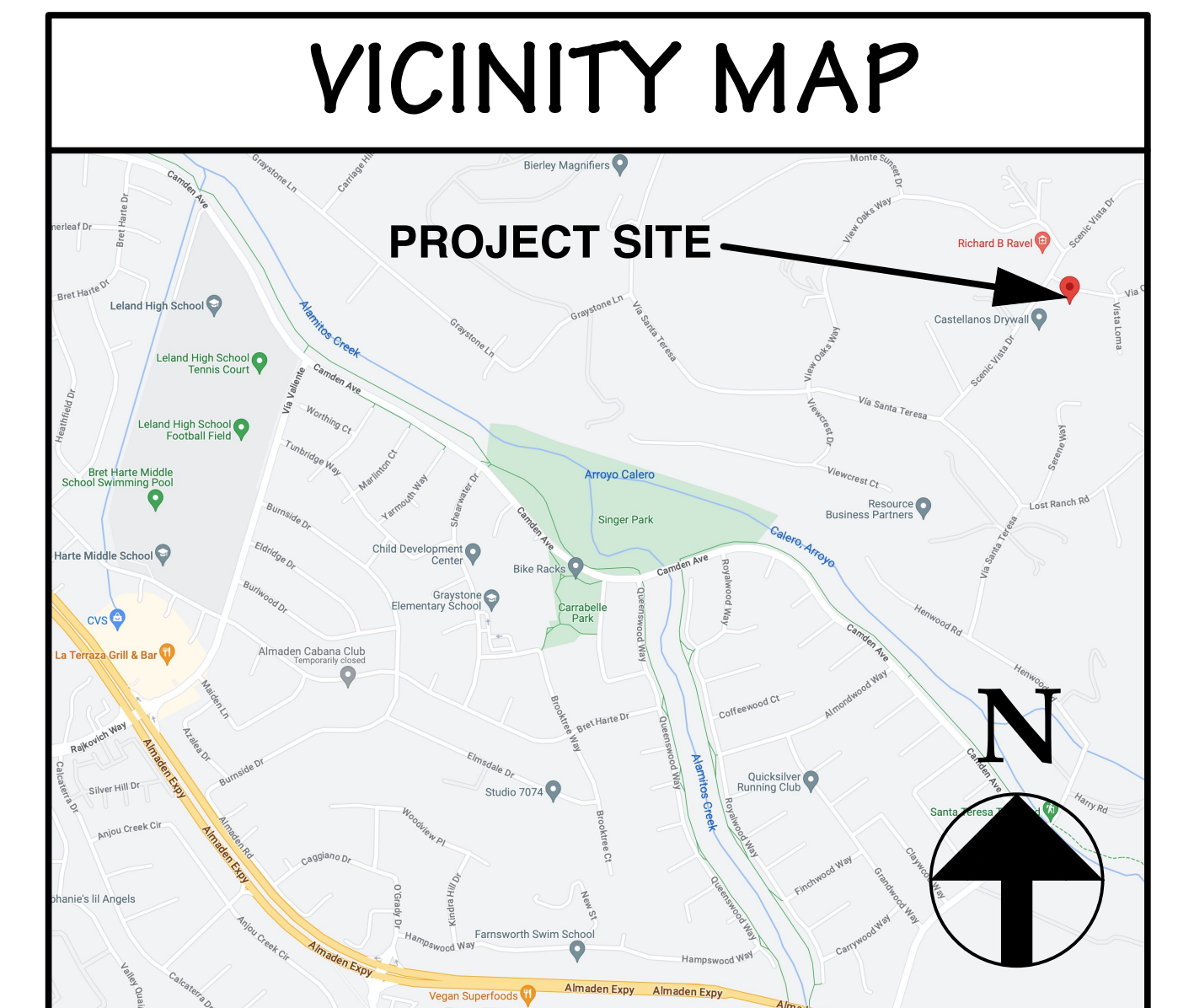
All work within the public right-of-way, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be included within a Single Street Opening Permit issued by the City Engineering Department.

Issuance of the Street Opening Permit and payment of all appropriate fees shall be completed by the developer prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.



PROPOSED ROOF PLAN

SCALE: 1/8" = 1'-0"



OWNER: PENNY & JIMMY ZAFIRIS
 20820 SCENIC VIEW DRIVE
 SAN JOSE, CA. 95120

DESIGN BY:
 PACIFIC BLUE DEVELOPMENTS
 38 Colleen Way
 Campbell, CA. 95008
 (408) 504-6826 Cell



REVISION:	DATE:	DESCRIPTION:

COVER SHEET WITH ROOF PLAN
 VICINITY MAP
 PLAN NOTES

DRAWN BY
 Michael S. Radu

CHECKED BY
 PBD

JOB NO.
 23-20

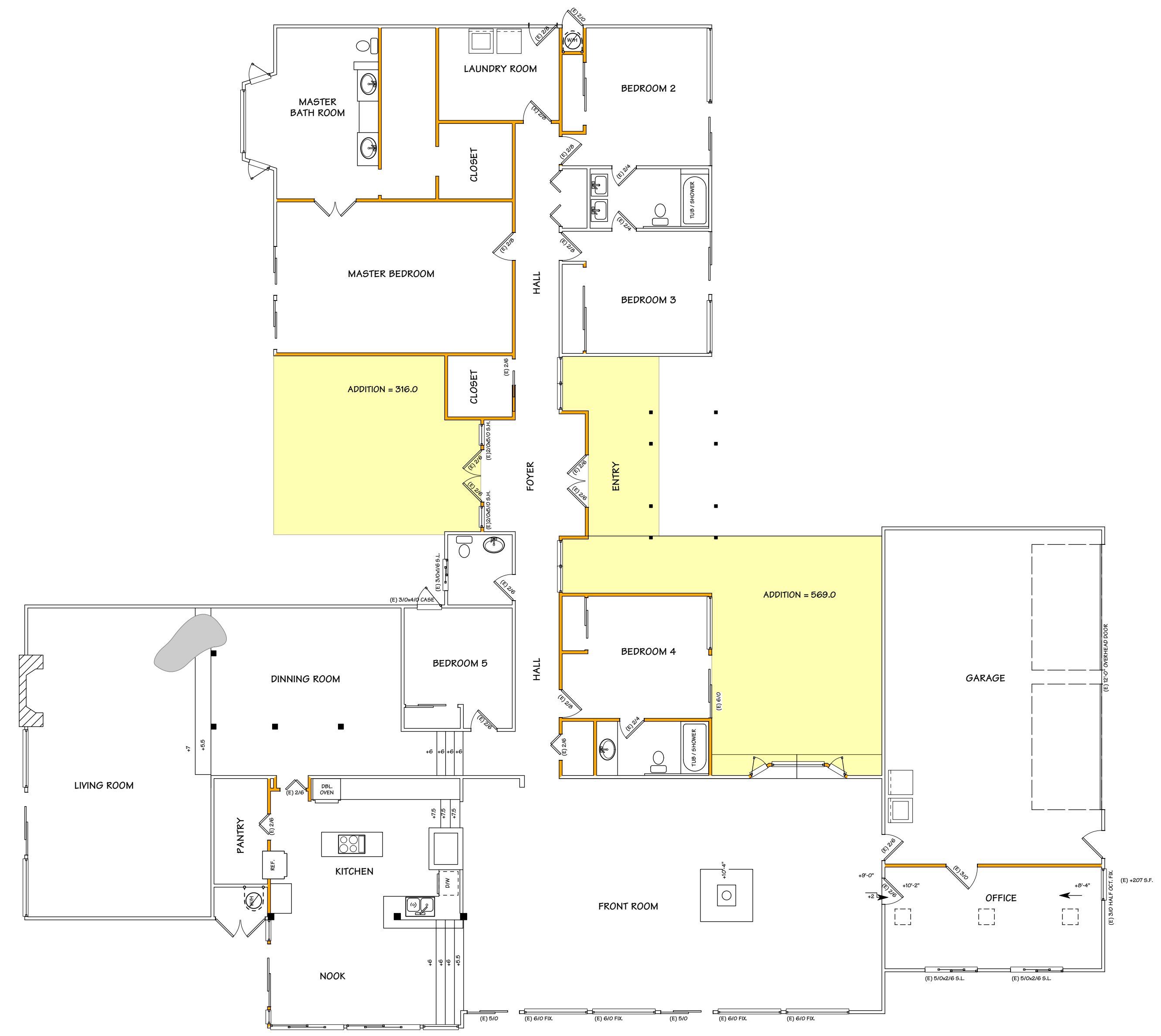
DATE
 01/02/2023

SCALE
 AS SHOWN

SHEET
 A-1

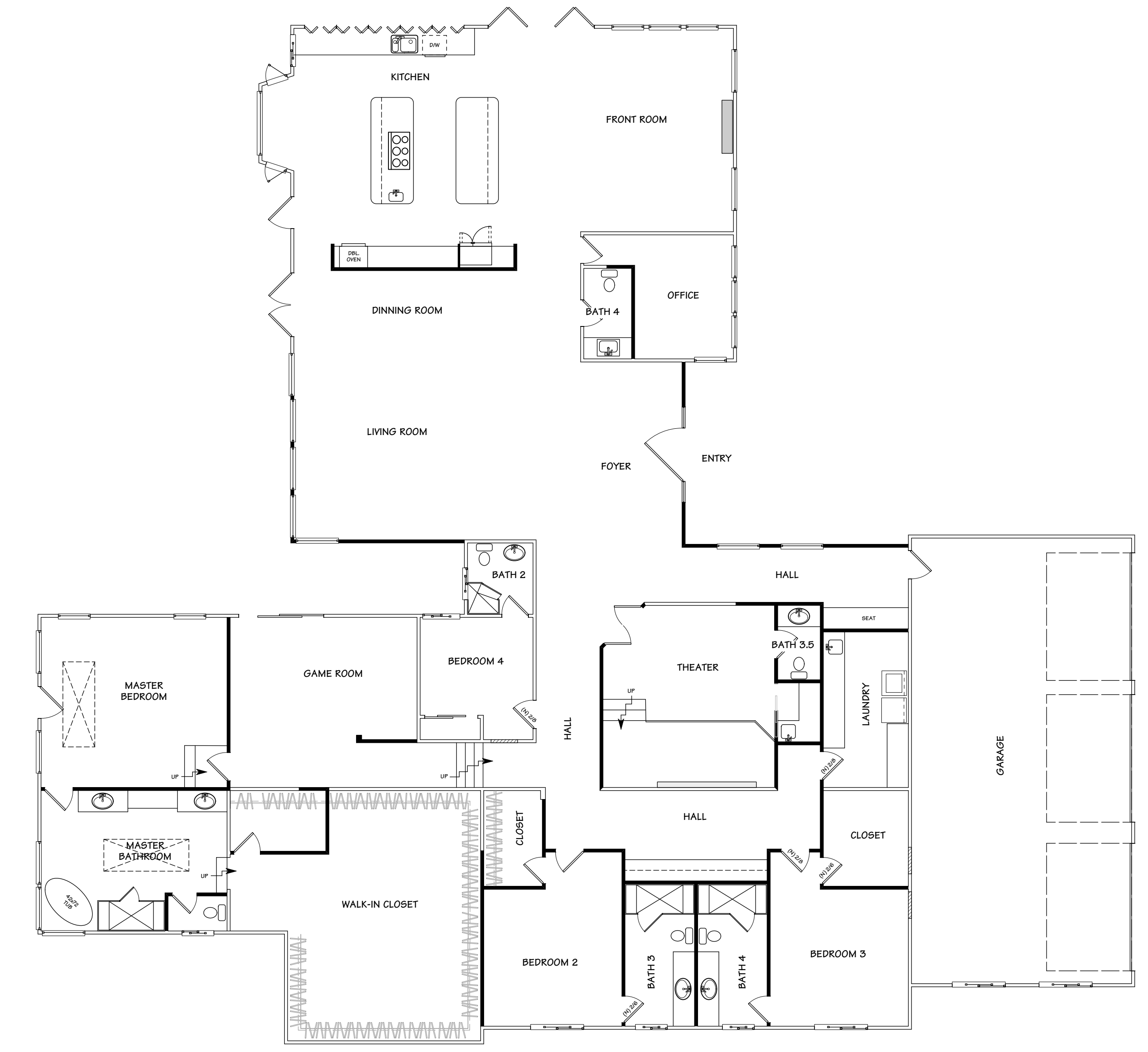
WALL LEGEND	
	EXISTING WALL
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	PATCH / CLOSE WALL

WALL DATA	
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50% EXISTING WALL	= 489'-2 1/2"
REMOVED WALLS	= 331'-4 1/2"



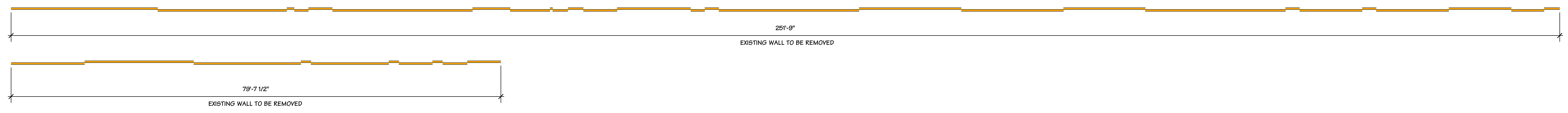
EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN SEE A-4 FOR LARGER FLOOR PLAN

SCALE: 1/8" = 1'-0"



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DESIGN BY:
 PACIFIC BLUE DEVELOPMENTS
 32 Colleen Way
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 (408) 304-6626 Cell

REVISION:

EXISTING FLOOR PLAN
PROPOSED FLOOR PLAN

DRAWN BY:
 Michael S. Radu

CHECKED BY:
 PBD

JOB NO.:
 23-20

DATE:
 01/02/2023

SCALE:
 AS SHOWN

SHEET:
A-3

FLOOR PLAN NOTES

PROVIDE EMERGENCY EGRESS WINDOWS WITH MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. DIMENSIONS SHALL BE 24" MIN. HIGH BY 20" MIN. WIDE, WITH A MAXIMUM FINISH SILL HEIGHT OF 44" ABOVE THE SUBFLOOR. C.R.C.

GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED, LABELED "SAFETY GLASS", AND COMPLY WITH C.R.C. AS FOLLOWS:

• GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND GLAZING IN ANY PORTION OF A WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.

• GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

• GLAZING IN INDIVIDUALLY FIXED OR OPERABLE PANELS (OTHER THAN ABOVE) THAT MEET ALL OF THE FOLLOWING CONDITIONS: GLAZING GREATER THAN 9 SQ. FT. IN AREA; BOTTOM EXPOSED EDGE LESS THAN 18" & TOP EXPOSED EDGE GREATER THAN 36" ABOVE THE FLOOR; AND WITHIN 36" HORIZONTALLY OF ANY WALKING SURFACE.

SLIDING GLASS WINDOWS SHALL BE DESIGNED AND INSTALLED SO AS TO PREVENT THEIR REMOVAL BY RAISING THE MOVABLE PANEL FROM THE TRACK WHILE IN THE CLOSED POSITION. SLIDING UNITS SHALL ALSO HAVE AN APPROVED PRIMARY AND AUXILIARY LOCKING DEVICE PERMANENTLY MOUNTED AND NOT ACCESSIBLE FROM THE EXTERIOR OF THE BUILDING. THE MOVABLE SECTION OF THE SLIDING UNITS SHALL BE MOUNTED ON THE INSIDE TRACK.

ALL DOORS AND WINDOWS ARE TO BE FULLY WEATHER-STRIPPED PER TITLE 24 REQUIREMENTS.

ALL JOINTS AND PENETRATIONS ARE TO BE PROPERLY CAULKED AND SEALED PER TITLE 24 REQUIREMENTS.

PROVIDE 26 GA. GI FLASHING AT ALL NEW CONCRETE PORCH/STOOP AREAS WHERE CONTACT WITH WOOD FRAMING WILL OCCUR.

ALL STEPS AND STAIRWAYS RISERS SHALL NOT BE LESS THAN 4" MIN. OR GREATER THAN 7/8" MAX. ALL TREADS SHALL BE 13" WIDE (BUT, NOT LESS THAN 9" MIN.) TYPICAL UNLESS NOTED OTHERWISE ON THE PLANS. C.R.C.

SHOWER AND TUB WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE, SUCH AS TILE OR OTHER APPROVED MATERIAL, TO A MINIMUM HEIGHT OF 72" ABOVE THE DRAIN INLET. APPLY NON-ABSORBENT MATERIAL TO WATER-PROOF BUILDING PAPER AND WIRE LATH, INSTALLED OVER WATER-RESISTANT GYP. BOARD APPLIED DIRECTLY TO STUDS. C.R.C.

PROVIDE MIN. 24" CLEAR AT FRONT AND MIN. 30" CLEAR WIDTH AT ALL WATER CLOSETS.

SEISMIC STRAP WATER HEATER TO BUILDING AND INSTALL A MIN. R-12 INSULATION BLANKET. C.P.C. SECTION 910.5, & TITLE 24 REQUIREMENTS.

EXHAUST FANS IN BATHROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS SHALL BE VENTED DIRECTLY TO THE OUTSIDE AND CAPABLE OF PROVIDING A MINIMUM OF FIVE COMPLETE AIR CHANGES PER HOUR. C.R.C.

MECHANICAL AND PLUMBING PENETRATIONS PASSING ENTIRELY THROUGH BOTH PROTECTIVE MEMBRANES OF BEARING WALLS REQUIRED TO HAVE A FIRE-RESISTANCE RATING, AND WALLS REQUIRING PROTECTED OPENINGS SHALL BE PROTECTED WITH THROUGH-PENETRATION FIRE BLOCKS SUITABLE FOR THE METHOD OF PENETRATION. PER C.R.C.

PROVIDE FIREBLOCKING IN THE FOLLOWING LOCATIONS PER C.R.C.

(A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10 FT. INTERVALS BOTH VERTICAL AND HORIZONTAL.

(B) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS.

(C) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.

(D) IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS AT CEILING AND FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIALS.

(E) AT OPENINGS BETWEEN ATTIC SPACES & CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

5/8" TYPE 'X' ONE HOUR FIRE RATED GYP. BOARD SHALL BE INSTALLED ON ALL WALLS AND CEILING AT GARAGE SIDE WHICH ARE COMMON TO ANY LIVING AREAS. ALSO INSTALL FIRE RATED GYPSUM BOARD AT UNDERSIDE OF ANY ENCLOSED STAIRWAYS. PER C.R.C.

ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVE, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.

CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.

80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS), HIGH PERFORMANCE PRODUCTS DATABASE OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM; OR MEET CALIFORNIA DEPARTMENT OF PUBLIC HEALTH SPECIFICATION 01350.

PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

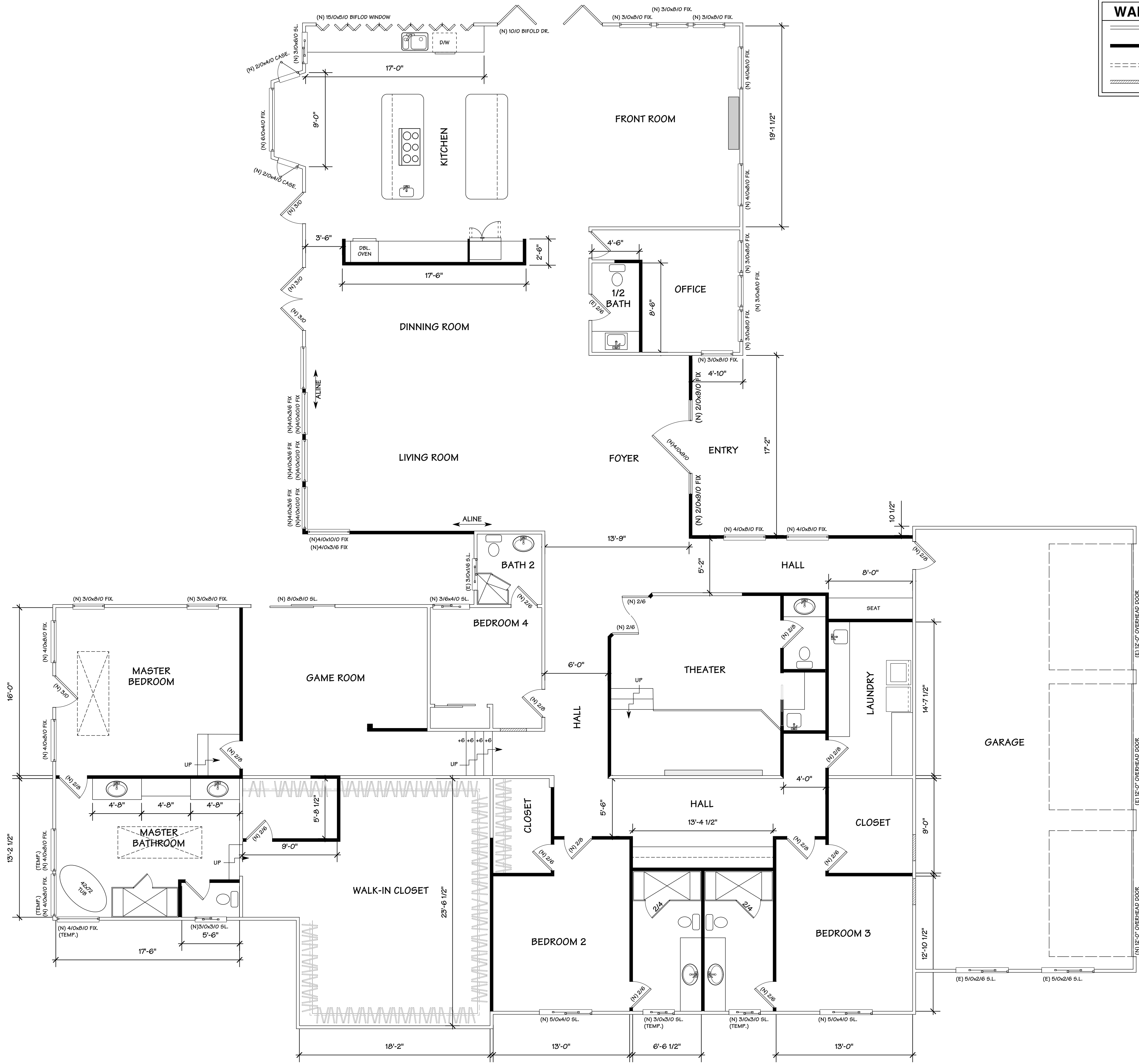
VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS.

SHOWER AND OR TUB/SHOWER WALLS SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE (E.G. CERAMIC TILE, FIBERGLASS ECT.) OVER MOISTURE RESISTANT UNDERLAYMENT (E.G. WATER RESISTANT GYPSUM BOARD, GREEN BOARD ECT.) TO A HEIGHT OF NOT LESS THAN 6" ABOVE THE FLOOR. PER C.R.C. SECTION 307.2, R702.4 AND R702.3.7

ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. PER C.R.C. SECTION R311.2

ALL EXTERIOR WINDOWS AND SLIDING DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND BEAR A LABEL IDENTIFYING MANUFACTURE, PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH AAMA/WDMA/CSA 101/15.2/A440

EXTERIOR SIDED-HINGED DOORS SHALL BE TESTED AND LABELED AS CONFORMING TO AAMA/WDMA/CSA 101/15.2/A440 OR COMPLY WITH SECTION R609.1 AND R609.3 OR COMPLY WITH C.R.C. SECTION R609.



WALL LEGEND

	EXISTING WALL
	NEW WALL
	REMOVAL WALL
	PATCH / CLOSE WALL

FLOOR PLAN

SCALE: 3/16" = 1'-0"

OWNER: PENNY & JIMMY ZAFIRIS
20820 SCENIC VIEW DRIVE
SAN JOSE, CA. 95120

DESIGN BY: PACIFIC BLUE DEVELOPMENTS
 Michael S. Radu
 1000 S. Bascom
 Campbell, CA. 95008
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REVISION:

PROPOSED FLOOR PLAN

DRAWN BY: Michael S. Radu

CHECKED BY: PBD

JOB NO.: 23-20

DATE: 01/02/2023

SCALE: AS SHOWN

SHEET: A-4

ELECTRICAL / MECHANICAL / PLUMBING NOTES

PROVIDE ELECTRICAL SYSTEM GROUNDING PER SECTION 250 OF THE CALIFORNIA ELECTRICAL CODE TYPICAL.

SMOKE DETECTORS IN DWELLING UNITS SHALL BE HARDWIRED AND MOUNTED ON THE CEILING OR WALL AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IF THE DWELLING UNIT HAS MORE THAN ONE STORY A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN ANY BASEMENT IF APPLICABLE. WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL, A DETECTOR SHALL BE PLACED AT THE CEILING OF THE UPPER LEVEL IN CLOSE PROXIMITY TO THE STAIRWAY. DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED. REFER TO C.E.C.

IN EVERY HABITABLE ROOM, RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN SIX FEET MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE. INCLUDING ANY WALL SPACE TWO FEET OR MORE IN WIDTH AND THE WALL SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, BUT EXCLUDING SLIDING PANELS IN EXTERIOR WALLS. THE WALL SPACE AFFORDED BY FIXED ROOM DIVIDERS, SUCH AS FREE-STANDING BAR-TYPE COUNTERS, SHALL BE INCLUDED IN THE SIX FOOT MEASUREMENT. C.E.C.

ATTICS AND ROOF AREAS THAT ARE ACCESSIBLE, THE ELECTRICAL CABLE WITHIN SEVEN (7) FEET OF OPENING SHALL BE PROTECTED PER C.E.C. 320.23

CARBON MONOXIDE ALARMS

- (A) SPECIFY THAT CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THIS DWELLING PER C.R.C. R315
- (B) SPECIFY THAT CARBON MONOXIDE ALARMS SHALL BE "LISTED" AS COMPLYING WITH UL2034 AND UL2075 PER C.R.C. R315.3

RECEPTACLES SHALL

- (A) NOT BE OVER 6' FROM OPENINGS INCLUDING ANY WALL SPACE 2' OR WIDER.
- (B) NOT BE MORE THAN 12' O.C. INCLUDING SLIDING GLASS DOORS.

(C) BE G.F.I. CIRCUITS WHEN INSTALLED WITHIN 6' OF SINKS AND WHEN INSTALLED OUTDOORS PER C.E.C. ARTICLE 210-9(a).

(D) HAVE WATERPROOF COVERS WHEN INSTALLED OUTDOORS.

A 22" x 30" MINIMUM ACCESS TO FURNACE LOCATED IN THE ATTIC IS REQUIRED. IN ADDITION THE OPENING AND PASSAGEWAY MUST BE AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE.

A SOLID 24" MIN. WIDE PLATFORM PATH FROM THE ACCESS OPENING TO THE FURNACE, WITH A RECEPTACLE AT THE FAU AND LIGHT, SWITCHED FROM THE ACCESS OPENING. PER C.M.C. 904.11

PROVIDE AN ADDITIONAL WATERTIGHT CORROSION RESISTANT METAL PAN BELOW CONDENSATE PRODUCING EQUIPMENT (IE. FURNACE) INSTALLED IN ATTIC. A SECONDARY DRAIN LINE MUST BE LOCATED AT A POINT WHERE IT CAN BE READILY OBSERVED. PER C.M.C. 310.2

ACCESS DOOR TO THE FURNACE/COOLING EQUIPMENT / COMPARTMENT SHALL BE A MINIMUM OF 24" WIDE AND A MINIMUM OF 30" CLEAR WORKING SPACE (OF A HEIGHT EQUAL TO THAT OF THE EQUIPMENT OR 6.5 FEET) ON THE FIREBOX SIDE.

PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) INSTALLED IN RESIDENTIAL BUILDINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF CGBC SECTION 4.303.1.1 THROUGH 4.303.1.4.4

PLUMBING FIXTURES AND FITTINGS REQUIRED IN CGBC SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE C.P.C AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS.

ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OR RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

SMOKE DETECTORS SHALL BE INTERCONNECTED 110V WITH BATTERY BACKUP, WHICH ARE AUDIBLE IN ALL SLEEPING AREAS AT THE FOLLOWING LOCATIONS: (1) ALL BEDROOMS; (2) HALLWAYS LEADING TO BEDROOMS, (4) AT LEAST ONE AT EVERY LEVEL AND (5) FARTHER THAN 3 FEET HORIZONTAL DISTANCE FROM THE BATHROOM DOOR CONTAINING A BATHTUB OR SHOWER. PER C.R.C. R314.3, R314.4, R314.5.

AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL 120-VOLT, SINGLE PHASE, 15-AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS. PER C.E.C. 210.12(A)

TWO SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS. NOTE: THESE CIRCUITS CANNOT SERVE OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHERS OR MICROWAVES — ONLY THE REQUIRED COUNTERTOP/WALL OUTLETS INCLUDING THE REFRIGERATOR. PER C.E.C. 210-11(C)(1) AND 210-52 (B)

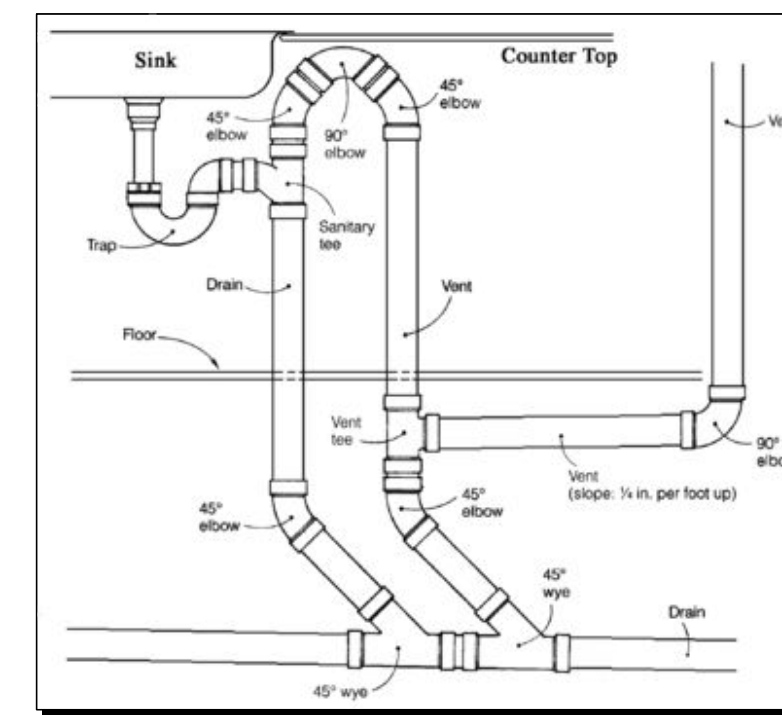
A DEDICATED 20-AMP CIRCUIT IS REQUIRED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.) PER C.E.C. 210.52 (C)(3) AND EXCEPTION: CEC210.23(A)(1) AND (A)(2).

A DEDICATED 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. PER C.E.C. 210.11(C)(2) AND 210.52(F)

A PRESSURE ABSORBING DEVICE (OR APPROVED MECHANICAL DEVICE), LOCATED AS CLOSE AS POSSIBLE TO QUICK ACTING VALVES, THAT WILL ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF QUICK-ACTING VALVES (I.E., DISHWASHER, WASHING MACHINE, ETC.). PER C.P.C. 609.10

EXHAUST OUTLETS SHALL BE LOCATED A MINIMUM OF 10-FT FROM DOORS, OCCUPIED AREAS AND OPERABLE WINDOWS. PER C.M.C. 407.2.2

NOTE: ALL LIGHTING FIXTURES SHALL BE OF HIGH EFFICACY.



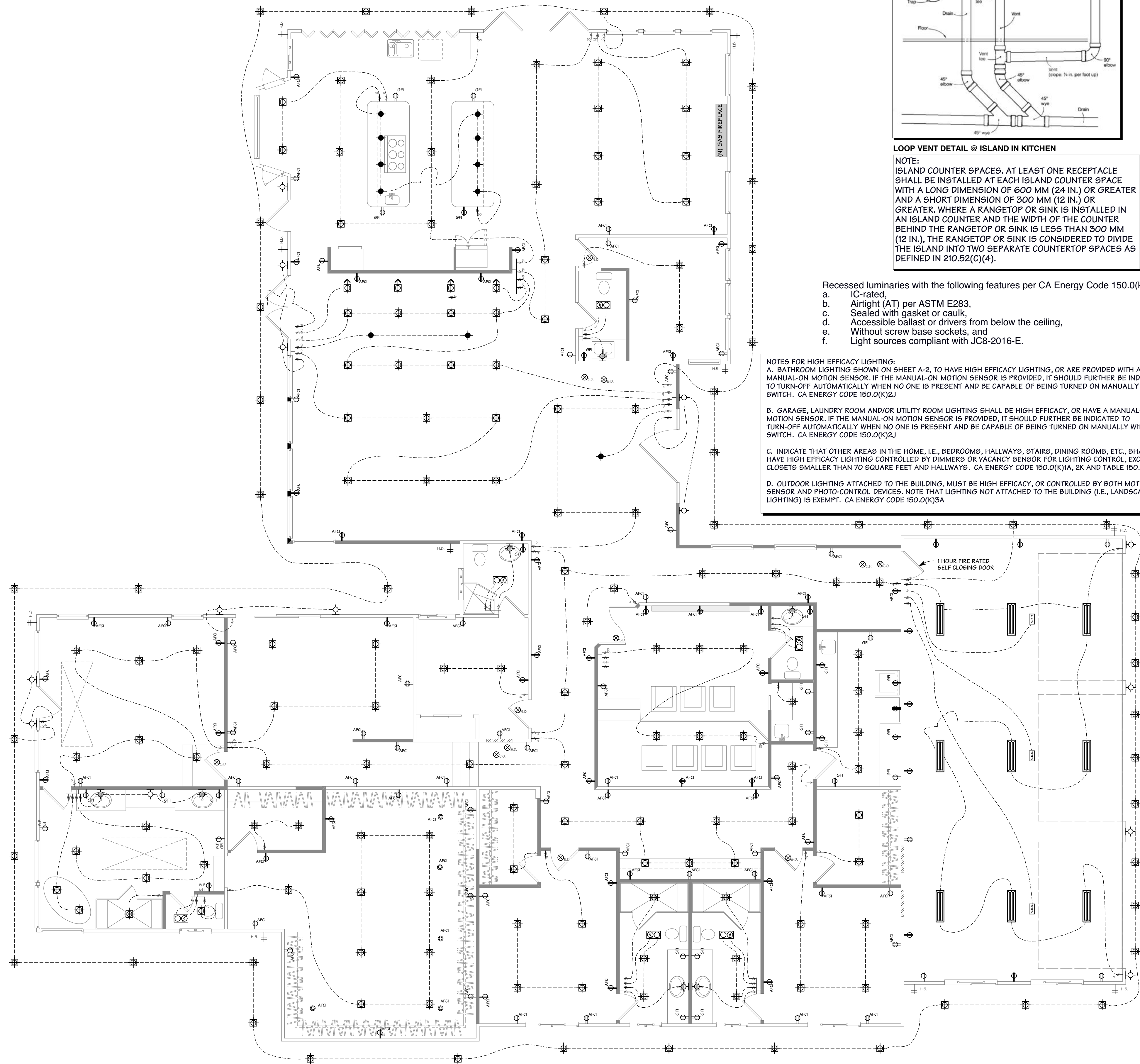
LOOP VENT DETAIL @ ISLAND IN KITCHEN

NOTE: ISLAND COUNTER SPACES, AT LEAST ONE RECEPTACLE SHALL BE INSTALLED AT EACH ISLAND COUNTER SPACE WITH A LONG DIMENSION OF 600 MM (24 IN.) OR GREATER AND A SHORT DIMENSION OF 300 MM (12 IN.) OR GREATER. WHERE A RANGETOP OR SINK IS INSTALLED IN AN ISLAND COUNTER AND THE WIDTH OF THE COUNTER BEHIND THE RANGETOP OR SINK IS LESS THAN 300 MM (12 IN.), THE RANGETOP OR SINK IS CONSIDERED TO DIVIDE THE ISLAND INTO TWO SEPARATE COUNTERTOP SPACES AS DEFINED IN 210.52(C)(4).

Recessed luminaries with the following features per CA Energy Code 150.0(k)1C:

- a. IC-rated,
- b. Airtight (AT) per ASTM E283,
- c. Sealed with gasket or caulk,
- d. Accessible ballast or drivers from below the ceiling,
- e. Without screw base sockets, and
- f. Light sources compliant with JCS-2016-E.

NOTES FOR HIGH EFFICACY LIGHTING:
 A. BATHROOM LIGHTING SHOWN ON SHEET A-2, TO HAVE HIGH EFFICACY LIGHTING, OR ARE PROVIDED WITH A MANUAL-ON MOTION SENSOR. IF THE MANUAL-ON MOTION SENSOR IS PROVIDED, IT SHOULD FURTHER BE INDICATED TO TURN-OFF AUTOMATICALLY WHEN NO ONE IS PRESENT AND BE CAPABLE OF BEING TURNED ON MANUALLY WITH A SWITCH. CA ENERGY CODE 150.0(k)2J
 B. GARAGE, LAUNDRY ROOM AND/OR UTILITY ROOM LIGHTING SHALL BE HIGH EFFICACY, OR HAVE A MANUAL-ON MOTION SENSOR. IF THE MANUAL-ON MOTION SENSOR IS PROVIDED, IT SHOULD FURTHER BE INDICATED TO TURN-OFF AUTOMATICALLY WHEN NO ONE IS PRESENT AND BE CAPABLE OF BEING TURNED ON MANUALLY WITH A SWITCH. CA ENERGY CODE 150.0(k)2J
 C. INDICATE THAT OTHER AREAS IN THE HOME, I.E., BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC., SHALL HAVE HIGH EFFICACY LIGHTING CONTROLLED BY DIMMERS OR VACANCY SENSOR FOR LIGHTING CONTROL EXCEPT CLOSETS SMALLER THAN 70 SQUARE FEET AND HALLWAYS. CA ENERGY CODE 150.0(k)1A, 2K AND TABLE 150.0-A
 D. OUTDOOR LIGHTING ATTACHED TO THE BUILDING, MUST BE HIGH EFFICACY, OR CONTROLLED BY BOTH MOTION SENSOR AND PHOTO-CONTROL DEVICES. NOTE THAT LIGHTING NOT ATTACHED TO THE BUILDING (I.E., LANDSCAPER LIGHTING) IS EXEMPT. CA ENERGY CODE 150.0(k)3A



SCALE: 3/16" = 1'-0"

ELEC. /MECH. /PLUMB. PLAN

ELECTRICAL/MECHANICAL SYMBOL LEGEND

	LIGHT SWITCH, SINGLE POLE; +48" U.O.N.
	LIGHT SWITCH, 3-WAY; +48" U.O.N.
	LIGHT SWITCH, DIMMABLE; +48" U.O.N.
	LIGHT SWITCH, VACANCY SENSOR; +48" U.O.N.
	CEILING FAN/LIGHT CONTROL
	OUTLET, DUPLEX CONVENIENCE - 20A, 120V; +12" U.O.N.
	OUTLET, SAME AS ABOVE EXCEPT GFI TYPE
	OUTLET, SAME AS ABOVE EXCEPT GFI & WATER PROOF
	OUTLET, ARC-FAULT CIRCUIT INTERRUPTER
	OUTLET, IN CAB FACE, GFI IN KITCHEN
	SWITCHED OUTLET, 1/2 HOT - 20A, 120V; +12" U.O.N.
	OUTLET, FOURPLEX CONVENIENCE - 20A, 120V +12" U.O.N.
	OUTLET, INDIVIDUAL APPLIANCE - 20A, 220V
	UNDER-COUNTER OUTLET
	COUNTER-TOP OUTLET
	FLOOR OUTLET - 20A, 120V
	DOT ADJACENT TO SYMBOL INDICATES MOUNTING ABOVE COUNTER TOP
	PENDANT MOUNTED LIGHT FIXTURE
	SURFACE MOUNTED LIGHT FIXTURE
	LOW VOLTAGE RECESSED FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	RECESSED FLOURESCENT CEILING LIGHT FIXTURE
	ACCENT LIGHT
	WALL MOUNTED LIGHT FIXTURE
	WALL SCOCNE
	FLOURESCENT FIXTURE, UNDER CAB MNTD, DIRECT WIRE, LENGTH VARIES
	SURFACE MOUNTED FLOURESCENT FIXTURE
	FAN/FLOURESCENT LIGHT
	EXHAUST FAN (CEILING UNIT U.O.N.) (TO PROVIDE MIN. 5 AIR CHANGES/HR. PER IBC 1203.3)
	DISPOSAL
	TELEPHONE OUTLET +12" U.O.N.
	FLOOR MOUNTED TELEPHONE JACK
	TELEVISION HOOKUP
	PUSH BUTTON
	DOORBELL CHIME
	THERMOSTAT
	JUNCTION BOX
	MOTOR CONNECTION
	APPROVED SMOKE DETECTOR - CEILING MOUNTED & WIRED TO MAIN SERVICE WITH BATTERY BACK-UP
	APPROVED CARBON MONOXIDE DETECTOR - CEILING MOUNTED & WIRED TO MAIN SERVICE WITH BATTERY BACK-UP
	GARAGE DOOR OPENER
	GAS OUTLET
	F.G. KEY
	H.B. HOSE BIB w/ VACUUM BREAKER
	AIR RETURN
	AIR REGISTER AT FLOOR
	AIR REGISTER @ WALL
	AIR REGISTER @ CEIL.
	MOTION / SOLOR FLOOD LIGHT
	CEILING FAN

OWNER: PENNY & JIMMY ZAFIRIS
 20820 SCENIC VIEW DRIVE
 SAN JOSE, CA. 95120

DESIGN BY:
 PACIFIC BLUE DEVELOPMENTS
 39 Colleen Way
 Campbell, CA. 95008
 (408) 304-6626 Cell



REVISION:

ELEC. / MECH. / PLUMB. PLANS
 PLAN NOTES

DRAWN BY
 Michael S. Radu

CHECKED BY
 PBD

JOB NO.
 23-20

DATE
 01/02/2023

SCALE
 AS SHOWN

SHEET

A-8